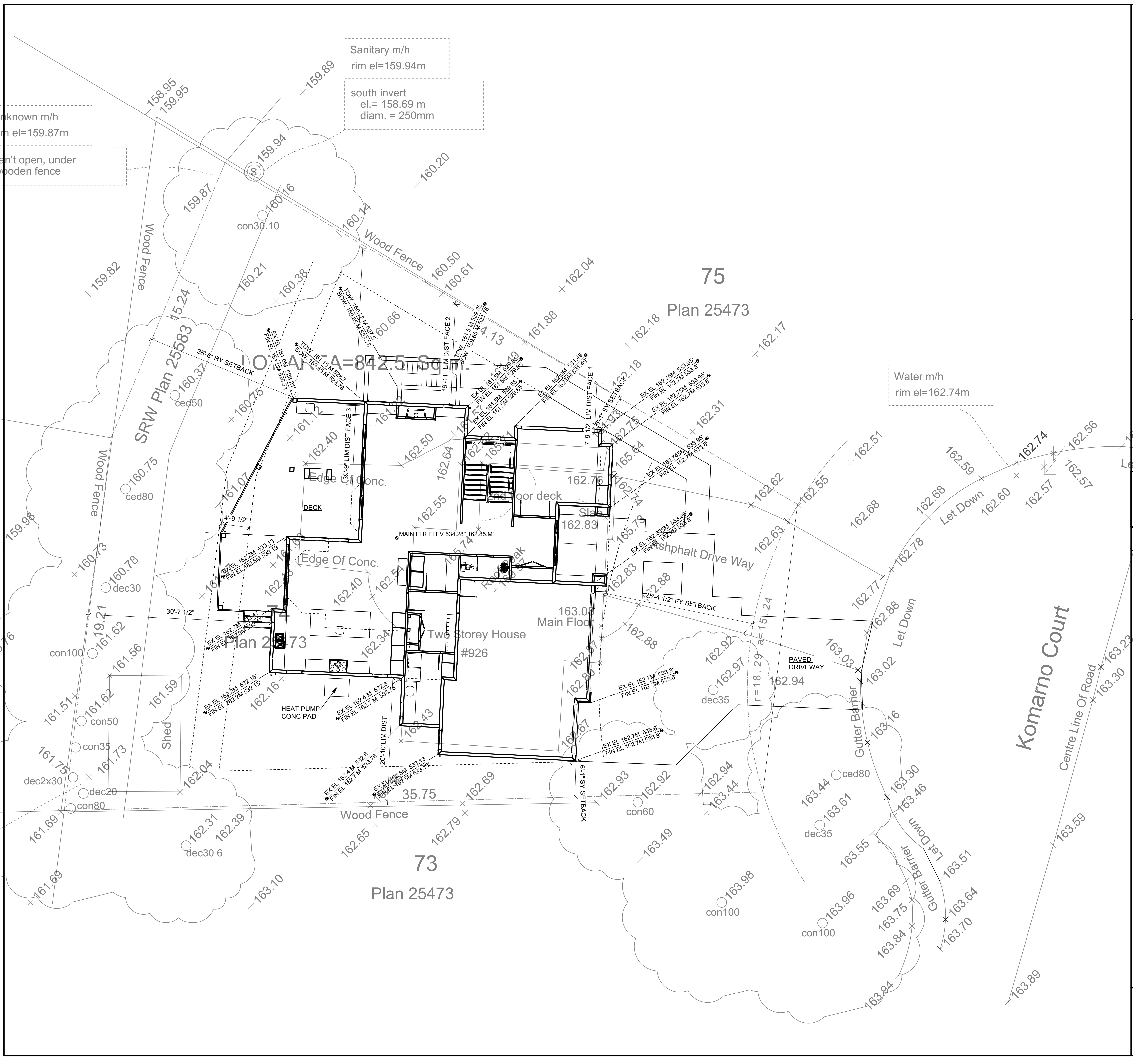


72
25473

75
Plan 25473

73
Plan 25473



PROJECT STATISTICS:

ZONING: RS1

LOT AREA: 9,068.67 FT² (842.5 M²)

LOWER FLOOR: 1,690 FT² (157.00 M²)

MAIN FLOOR: 1,646.5 FT² (152.96 M²)

UPPER FLOOR: 1,484 FT² (137.87 M²)

TOTAL AREA: 4,820.5 FT² (447.84 M²) (+ Garage)

GARAGE: 697 FT² (64.75 M²)

SITE COVERAGE: ALLOWED: 45%
PROPOSED: 2,596/9,068.67 FT² = .286 = 28.6%

FRONT YARD SETBACK: ALLOWED: 24'-11.2" (7.6 M)
PROPOSED: 25'-8" (7.82 M)

REAR YARD SETBACK: ALLOWED: 24'-11.2" (7.6 M)
PROPOSED: 25'-8" (7.82 M)

SIDE YARD SETBACK: MINIMUM ALLOWED: 5'-11" (1.8 M)
PROPOSED NORTH= 6'-1" (1.85 M)
SOUTH= 6'-1" (1.85 M)

BUILDING HEIGHT: ALLOWED: 36' (11 M)
PROPOSED: 26.29' (8.01 M)

MAX. PERIMETER WALL HEIGHT: MAXIMUM: 22.97' (7.0 M)
PROPOSED: YET TO BE DETERMINED

MAX. PERIMETER WALL AREA: MAXIMUM: 1,152 FT² (107 M²)
PROPOSED: YET TO BE DETERMINED

PARKING: REQUIRED: 3 FOR HOUSE & SUITE
PROPOSED: 3

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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Revisions

No.	Date	Details	By
0	2022 00 00	PRELIMINARY	

- DRAWING SCHEDULE:**
- A1: SITE PLAN
 - A2: LOWER FLOOR PLAN
 - A3: MAIN FLOOR PLAN
 - A4: UPPER FLOOR PLAN
 - A5: ROOF PLAN
 - A6: SECTIONS
 - A7: SECTIONS
 - A8: ELEVATION
 - A9: ELEVATION

TOPOGRAPHIC PLAN OF LOT 74
DISTRICT LOT 371 GROUP 1
NWD, PLAN 25473

- General Notes - Architectural**
- All work shall conform to the standards of the BCBC 2018, all local codes, bylaws and amendments. This building is a Class C building.
 - Do not scale drawings. Dimensions always take precedence.
 - The general contractor shall verify all datum's, dimensions and levels prior to commencement of work. Any errors, omissions or discrepancies to be discussed with the Architect.
 - These drawings are the exclusive property of the Architect, and cannot be reproduced without the expressed written consent of the Architect.
 - All work to be performed to current good trade practice standards by workmen skilled in their trades.
 - All materials to be of good quality, properly transported, stored, and protected.
 - All exterior dimensions taken from outside face of sheathing or exterior face of concrete unless noted otherwise (u.n.o.). All interior dimensions taken to face of stud or existing face of gwb.
 - All footings to bear on undisturbed native soil (or bedrock) and extend a minimum of 18" below grade. Bearing soil to be inspected by engineer before proceeding with formwork.
 - Provide two coats of bituminous damp-proofing to all exterior foundation walls. Provide waterproof membrane to foundation walls with habitable space. Plug all tie holes.
 - Anchor posts to footings to resist uplift. Secure sill plates to foundation walls with 5/8" diam x 6" galvanized anchor bolts 4'-0" O.C. typ. See structural drawings.
 - All wood members in contact with concrete to be protected with #45 d.p.c. or sill plate gasket or use pressure treated wood.
 - Provide a minimum of 8" clearance between soil and any wood members.
 - Maintain minimum 24" clearance in crawl spaces to bottom of joists.
 - Provide minimum crawl space and attic access of 1'-10" x 2'-0".
 - R 12 insulation required on the interior of the foundation wall enclosing a crawl space.
 - All load bearing columns to be at least equal in width to beams, and made of solid lumber or laminated studs.
 - Provide solid blocking @ 4'-0" o.c. below all non load bearing partitions parallel to joists.
 - Provide minimum 2x2 cross bracing or solid blocking between joists and rafters @ 7'-0" O.C. maximum. Minimum one row.
 - Provide preformed prefinished flashings over all exterior openings.
 - Flashings over all water table elements.
 - Double caulk and seal as required in accordance with BCBC 2018.
 - Factory Manufactured Fireplace and chimney flue to conform to #9.22.8 of National Building code and to be installed in accordance with Manufacturer's installation instructions and U.L.C. listing requirement.
 - Provide hearth size as required by U.L.C. installations instructions.
 - Provide 1/2" wonderboard as protection under non-combustible hearth finish if required.
 - Combustion air, in accordance with #9.34.1.7 is required for solid-fuel burning fireplaces.
 - Glass in windows and doors to be double-glazed.
 - Window frames to be thermally broken.
 - Glass sidelights and windows within 36" of door locks are to be safety glass.
 - Glass sidelights greater than 20" in width (that could be mistaken for doors) are to be safety glass.
 - Glass in windows less than 8" from floor is to be safety glass.
 - Glass in entrance, shower, and sliding doors are to be safety glass.
 - Glass in skylights to conform to 9.7.7.2.(1)(2).
 - Mirrored doors at entrances to walk-in closets are to be backed with solid material.
 - Windows in walls enclosing shower or tubs are to be safety glass and waterproofed to the satisfaction of the building inspector.
 - Ventilation requirements to conform to BCBC.
 - Supply and install exhaust fans and ducting for all bathroom areas.
 - Contractor shall use professional surveyor to layout building in all areas critical to municipal setbacks etc.
 - Use 1/2" Densshield or equivalent water-proof wall board in all shower and bath enclosures u.n.o.
 - Pre-engineered roof truss, floor joist & beam manufacturer shall provide shop drawings sealed by a registered structural engineer.
 - Wrap all door and window sills with ice and water shield with overlaps to shed water.
 - Windows, exterior doors, skylights shall conform to NASF-08 and CAN440-S1-09.

LIVING RADIUS
ARCHITECTURE + INTERIOR DESIGN INC.

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Fax: (604)988-4275

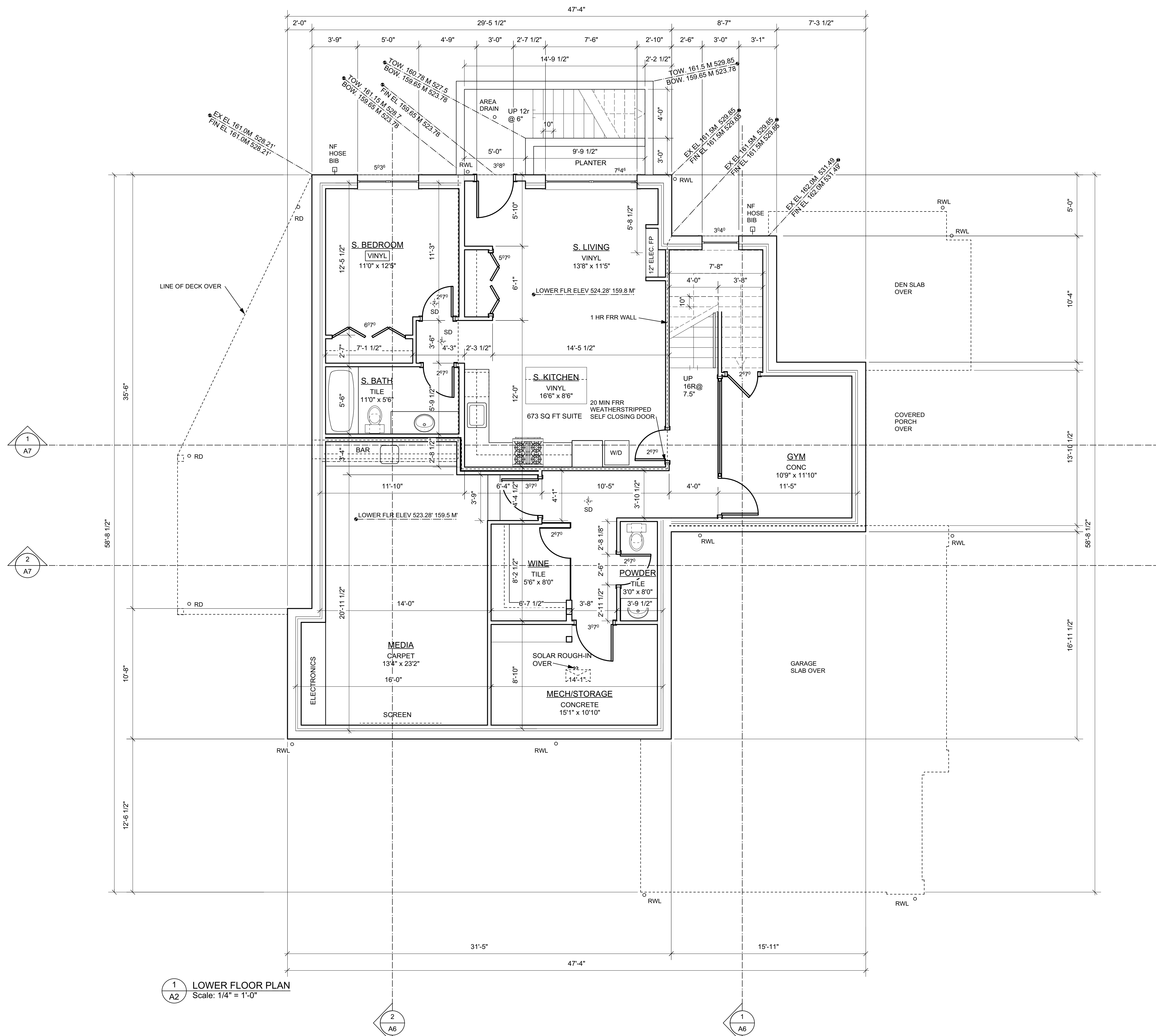
Project

**New Home
926 Komarno Court
Coquitlam, B.C.**

SITE PLAN

Date	Project No.
2022-01	2202
Scale	Drawing No.
1/8" = 1'-0"	A1
Drawn By	
B.U./K.G.	
Approved By	

SURVEY BY: Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234 - 18525-53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 8101-TP



1 LOWER FLOOR PLAN
A2 Scale: 1/4" = 1'-0"

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No.	Date	Details	By
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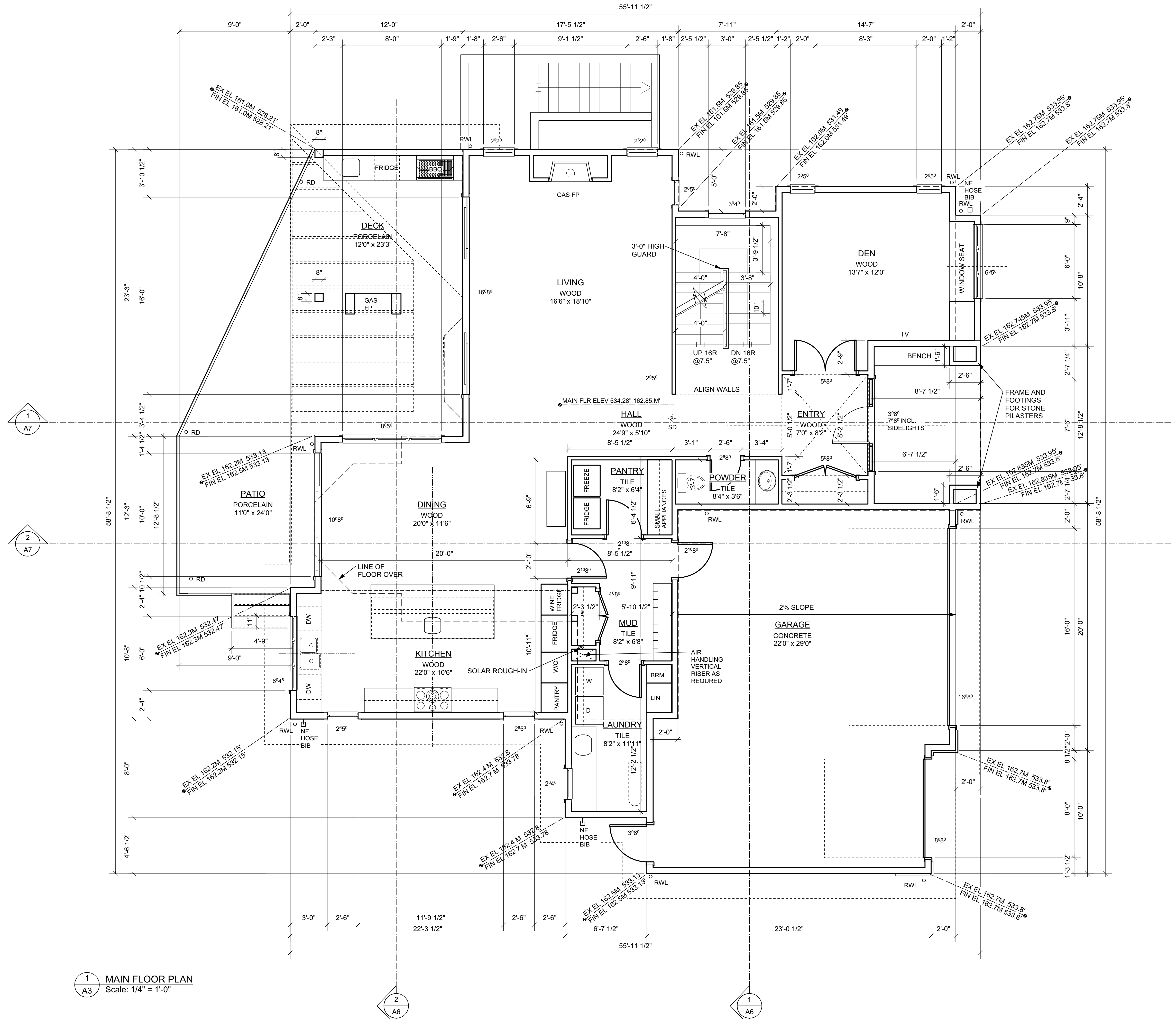
Project
**New Home
926 Komarno Court
Coquitlam, B.C.**

Drawing Title
**LOWER FLR PLANS
MAIN FLOOR PLAN**

Date 2022-01	Project No. 2202
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Scale 1/4" = 1'-0"	Drawing No.
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Drawn By B.U./K.G.	A2
Approved By	



1 MAIN FLOOR PLAN
 A3 Scale: 1/4" = 1'-0"

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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Project

New Home
926 Komarno Court
Coquitlam, B.C.

Drawing Title

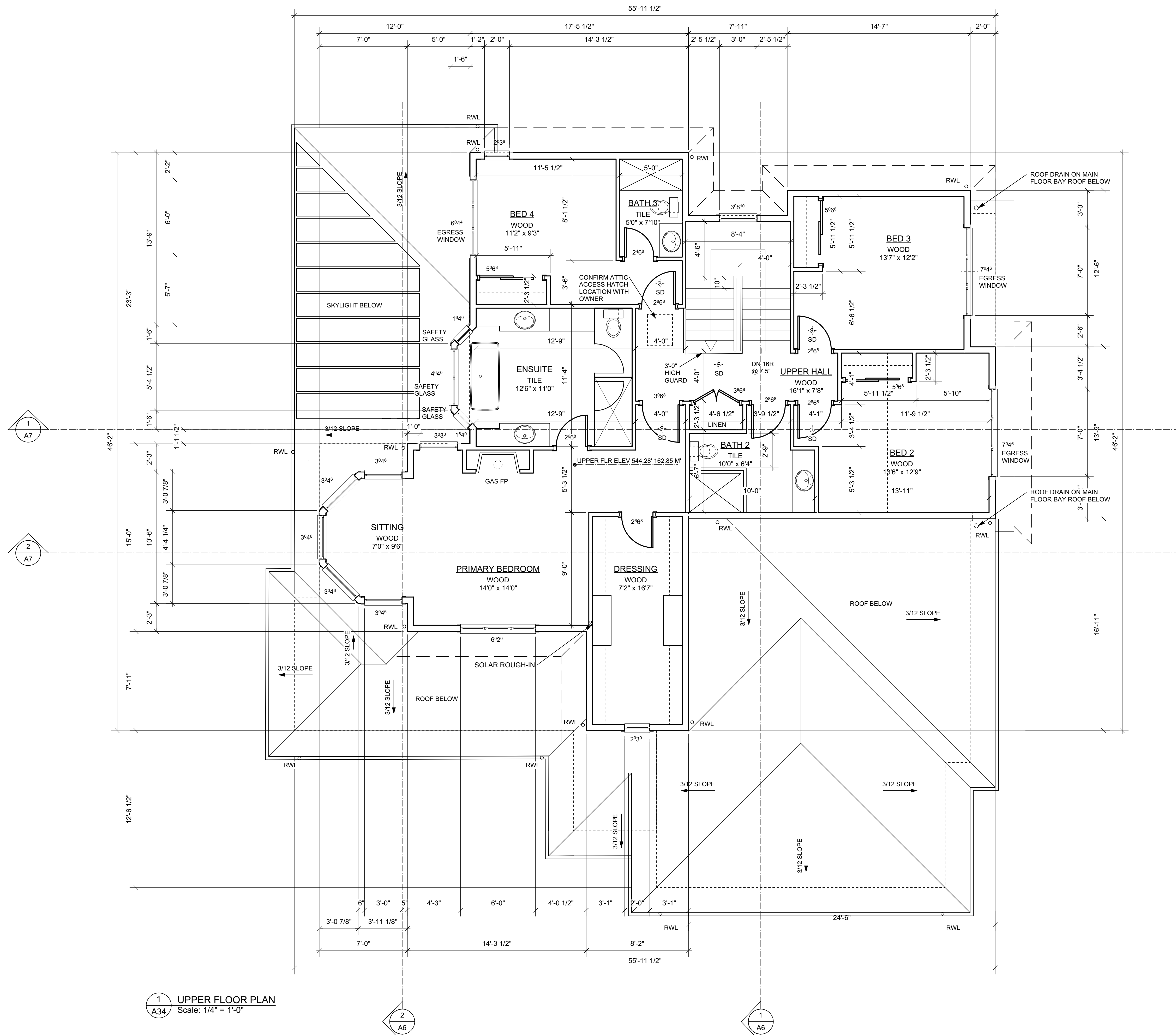
ENTRY FLOOR PLAN

Date	Project No.
2022-01	2202

Scale	Drawing No.
1/4" = 1'-0"	A2

Drawn By
B.U./K.G.

Approved By



1 UPPER FLOOR PLAN
A34 Scale: 1/4" = 1'-0"

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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Project

**New Home
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Coquitlam, B.C.**

Drawing Title

MAIN FLOOR PLAN

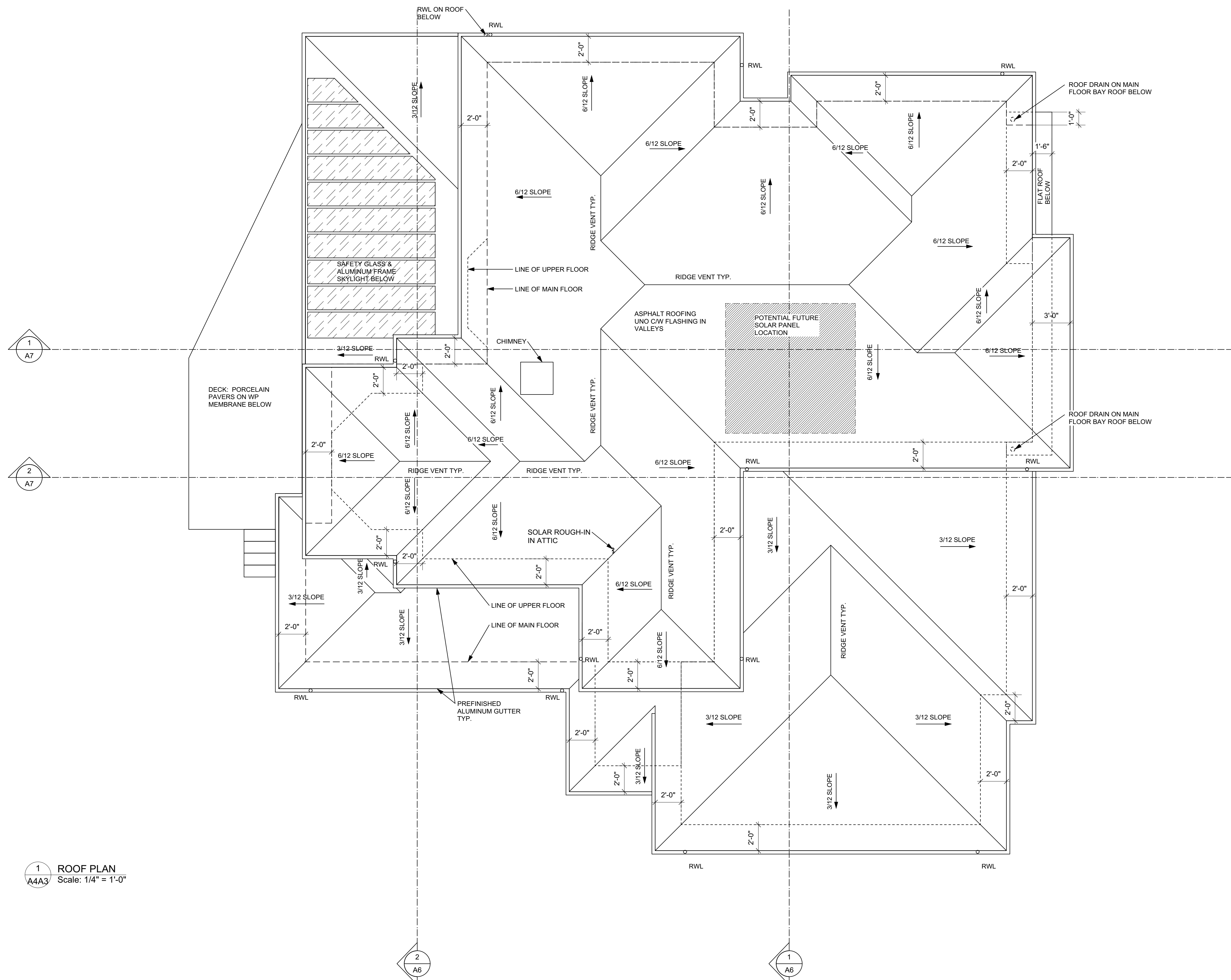
Date	Project No.
2022-01	2202

Scale	Drawing No.

Drawn By
B.U./K.G.

Approved By

A4



1 ROOF PLAN
A4A3 Scale: 1/4" = 1'-0"

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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Project
**New Home
926 Komarno Court
Coquitlam, B.C.**

Drawing Title
ROOF PLAN

Date 2022-01	Project No. 2202
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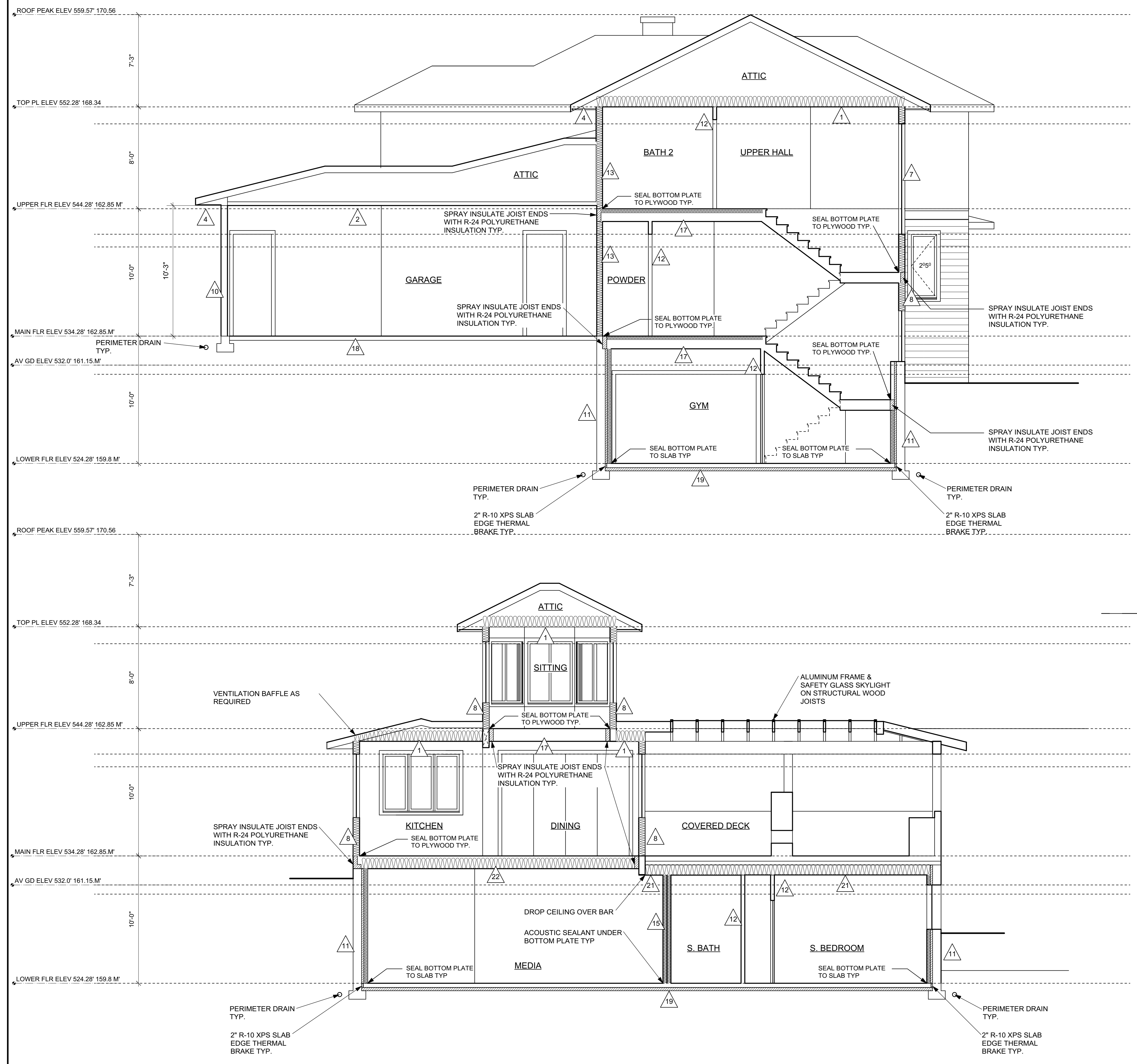
Scale 1/4" = 1'-0"	Drawing No.
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Drawn By B.U./K.G.	A5
Approved By	

CONSTRUCTION ASSEMBLY SCHEDULE

- 1 TYPICAL ROOF AT ATTIC
ASPHALT SHINGLES
1/2" ROOF SHEATHING
ROOF JOISTS OR TRUSSES PER STRUCT ENG.
R-50 SPRAYED CELLULOSE INSULATION
1/2" GWB
PAINT
- 2 TYPICAL ROOF AT GARAGE ATTIC
ASPHALT SHINGLES
1/2" ROOF SHEATHING
ROOF JOISTS OR TRUSSES PER STRUCT ENG.
1/2" GWB
PAINT
- 3 TYPICAL BACK DECK FLOOR
PORCELAIN PAVERS ON PEDESTALS
2 PLY TORCH-ON WP MEMBRANE
1/2" ROOF SHEATHING
2X4" SLOPED STRAPPING
JOISTS PER STRUCT ENG.
- 4 TYPICAL SOFFIT
ASPHALT SHINGLES OR 4A FLAT ROOFING
1/2" ROOF SHEATHING
ROOF JOISTS OR TRUSSES PER STRUCT ENG.
BACK FRAME AS REQUIRED FOR FLAT SOFFIT
1X4" CEDAR OR HEMLOCK T&G SOFFIT
CONT. PERF. METAL VENT STRIP
STAIN
- 5 TYPICAL SOFFIT UNDER HEATED SPACE
FLOOR FINISH
6 MIL POLY VAPOR BARRIER
3/4" SHEATHING
STRUCTURAL JOISTS
R-28 BATT INSULATION
1X4" CEDAR OR HEMLOCK T&G SOFFIT
CONT. PERF. METAL VENT STRIP
STAIN
- 6 TYPICAL EXTERIOR FRAME WALL @ STONE
STONE CLADDING
HARDIE BACKER BOARD
1/2" PT VERTICAL RAIN SCREEN STRAPPING
HOUSE WRAP CW TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 7 TYPICAL EXTERIOR FRAME WALL @ STUCCO
PAINT
3 PART CEMENTITIOUS STUCCO
GALV. DIAMOND LATHE
PROPRIETARY RAIN SCREEN DRAINAGE MATT
HOUSE WRAP CW TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 8 TYPICAL EXTERIOR FRAME WALL @ HARDIE BOARD
PAINT
HORIZONTAL HARDIE CLADDING
1/2"X1 1/2" VERTICAL PT WOOD RAINSCREEN STRAPPING
HOUSE WRAP CW TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 9 TYPICAL EXTERIOR FRAME WALL @ PANELLING
HARDIE PANEL WITH 1X4" BATTENS (SEE ELEVATIONS)
1/2"X2" PT VERTICAL STRAPPING @ 16" OC
HOUSE WRAP CW TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 16" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 10 TYPICAL GARAGE EXTERIOR WALL @ HARDIE BOARD
PAINT
HORIZONTAL HARDIE CLADDING
1/2"X1 1/2" VERTICAL PT WOOD RAINSCREEN STRAPPING
HOUSE WRAP CW TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
1/2" GWB.
PAINT
- 11 TYPICAL FOUNDATION WALL
DRAINAGE MATT (BELOW GRADE)
WP. MEMBRANE (BELOW GRADE)
8" CONC. RETAINING WALL
2" R-10 XPS RIGID INSULATION
2X4" STUDS @ 24" OC.
R-14 BATT INSULATION
6 MIL POLY VB.
1/2" GWB
PAINT
- 12 TYPICAL INTERIOR FRAME WALL
PAINT
1/2" GWB
2X4" WOOD STUDS @ 16" O.C.
(2X6" WOOD STUDS WHERE NOTED)
(ACOUSTIC INSUL. WHERE SHOWN)
1/2" GWB.
PAINT
- 13 TYPICAL INTERIOR FRAME WALL AT GARAGE
PAINT
1/2" GWB
6 MIL POLY VB. (HOUSE SIDE)
2X6" WOOD STUDS @ 24" O.C.
R-24 BATT INSULATION
1/2" GWB.
PAINT
- 14 TYPICAL 1 HR FRR INTERIOR FRAME WALL
BCBC 9.10.3.1.A) W4a
PAINT
5/8" TYPE "X" GWB
2X4" WOOD STUDS @ 16" O.C.
(2X6" WOOD STUDS WHERE NOTED)
3 1/2" BATT INSULATION
RESILIENT METAL CHANNEL (SUITE SIDE)
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 15 TYPICAL 1 HR FRR INTERIOR FRAME WALL #2
BCBC 9.10.3.1.A) W10a ON SEPARATE PLATES
PAINT
2 LAYERS 5/8" TYPE "X" GWB
2X4" WOOD STUDS @ 16" O.C.
3 1/2" BATT INSULATION
2X4" WOOD STUDS @ 16" O.C.
3 1/2" BATT INSULATION
RESILIENT METAL CHANNEL (SUITE SIDE)
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 16 FLAT ROOF
2 PLY TORCH-ON SBS ROOFING
2X4 SLOPED/VENTED STRAPPING
10" STRUCTURAL JOISTS
R-28 BATT INSULATION
6 MIL POLY VB.
1/2" GWB
PAINT
- 17 TYPICAL WOOD FRAMED FLOOR
FLOOR FINISH
3/4" PLYWOOD FLOOR SHEATHING
9 1/8" TJI JOISTS PER STRUCTURAL ENGINEER
R-12 BATT INSULATION
1/2" GWB
PAINT
- 18 TYPICAL GARAGE SLAB
SEALER
4" CONCRETE SLAB
6 MIL POLY VAPOR BARRIER
4" R-20 XPS RIGID INSULATION
MIN 6" GRANULAR FILL
STRUCTURAL FILL OR UNDISTURBED GRADE
- 19 TYPICAL SLAB ON GRADE
FLOOR FINISH
4" CONCRETE SLAB C/W RADIANT HEAT TUBING.
6 MIL POLY VAPOR BARRIER
4" R-20 XPS RIGID INSULATION
MIN 6" GRANULAR FILL
STRUCTURAL FILL OR UNDISTURBED GRADE
- 20 TYPICAL WOOD FRAMED 1 HR FRR FLOOR
BCBC 9.10.3.1.A) F9c
FLOOR FINISH
3/4" PLYWOOD FLOOR SHEATHING
9 1/2" TJI JOISTS PER STRUCTURAL ENGINEER
R-28 BATT ACOUSTIC INSULATION
RESILIENT METAL CHANNELS @ 16" OC
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 21 TYPICAL WOOD FRAMED 1 HR FRR DECK OVER SUITE
BCBC 9.10.3.1.A) F9c
PORCELAIN PAVERS ON PEDESTALS
2 PLY TORCH-ON SBS MEMBRANE
3/4" PLYWOOD FLOOR SHEATHING
2X4" TAPERED STRAPPING (VENTED)
9 1/2" TJI JOISTS PER STRUCTURAL ENGINEER
R-28 BATT INSULATION
6 MIL POLY VB.
RESILIENT METAL CHANNELS @ 16" OC
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 22 TYPICAL WOOD FRAMED FLOOR OVER MEDIA ROOM
FLOOR FINISH
3/4" PLYWOOD FLOOR SHEATHING
9 1/2" TJI JOISTS PER STRUCTURAL ENGINEER
R-28 BATT ACOUSTIC INSULATION
RESILIENT METAL CHANNELS @ 16" OC
2 LAYERS 1/2" TYPE GWB
PAINT

NOTE: ALL SEAMS ON THE EXTERIOR HOUSE WRAP MUST BE TAPED TO CREATE AN AIR BARRIER. DRAPE HOUSE WRAP OVER TOP PLATE TO TIE INTO VAPOR BARRIER AT UPPER CEILING.



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No.	Date	Details	By
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Fax: (604)988-4275

Project

**New Home
926 Komarno Court
Coquitlam, B.C.**

SECTIONS

Date	Project No.
2022-01	2202
Scale	Drawing No.
1/4" = 1'- 0"	A6
Drawn By	
B.U./K.G.	
Approved By	

CONSTRUCTION ASSEMBLY SCHEDULE

- 1 TYPICAL ROOF AT ATTIC
ASPHALT SHINGLES OR 4A
1/2" ROOF SHEATHING
ROOF JOISTS OR TRUSSES PER STRUCT ENG.
R-50 SPRAYED CELLULOSE INSULATION
1/2" GWB
PAINT
- 2 TYPICAL ROOF AT GARAGE ATTIC
ASPHALT SHINGLES
1/2" ROOF SHEATHING
ROOF JOISTS OR TRUSSES PER STRUCT ENG.
1/2" GWB
PAINT
- 3 TYPICAL BACK DECK FLOOR
PORCELAIN PAVERS ON PEDESTALS
2 PLY TORCH-ON WP MEMBRANE
1/2" ROOF SHEATHING
2X4" SLOPED STRAPPING
JOISTS PER STRUCT ENG.
- 4 TYPICAL SOFFIT
ASPHALT SHINGLES OR 4A
1/2" ROOF SHEATHING
ROOF JOISTS OR TRUSSES PER STRUCT ENG.
BACK FRAME AS REQUIRED FOR FLAT SOFFIT
1X4" CEDAR OR HEMLOCK T&G SOFFIT
CONT. PERF. METAL VENT STRIP
STAIN
- 5 TYPICAL SOFFIT UNDER HEATED SPACE
FLOOR FINISH
6 MIL POLY VAPOR BARRIER
3/4" SHEATHING
STRUCTURAL JOISTS
R-28 BATT INSULATION
1X4" CEDAR OR HEMLOCK T&G SOFFIT
CONT. PERF. METAL VENT STRIP
STAIN
- 6 TYPICAL EXTERIOR FRAME WALL @ STONE
STONE CLADDING
HARDIE BACKER BOARD
1/2" PT VERTICAL RAIN SCREEN STRAPPING
HOUSE WRAP C/W TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 7 TYPICAL EXTERIOR FRAME WALL @ STUCCO
3 PART CEMENTITIOUS STUCCO
GALV. DIAMOND LATHE
PROPRIETARY RAIN SCREEN DRAINAGE MATT
HOUSE WRAP C/W TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 8 TYPICAL EXTERIOR FRAME WALL @ HARDIE BOARD
HORIZONTAL HARDIE CLADDING
1/2"X1 1/2" VERTICAL PT WOOD RAINSCREEN STRAPPING
HOUSE WRAP C/W TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 9 TYPICAL EXTERIOR FRAME WALL @ PANELLING
HARDIE PANEL WITH 1X4" BATTENS (SEE ELEVATIONS)
1/2"X2" PT VERTICAL STRAPPING @ 16" OC
HOUSE WRAP C/W TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 16" O.C.
R-24 HIGH DENSITY BATT INSULATION
6" POLY V.B.
1/2" GWB.
PAINT
- 10 TYPICAL GARAGE EXTERIOR WALL @ HARDIE BOARD
HORIZONTAL HARDIE CLADDING
1/2"X1 1/2" VERTICAL PT WOOD RAINSCREEN STRAPPING
HOUSE WRAP C/W TAPED SEAMS
1/2" EXTERIOR SHEATHING
2X6" WOOD STUDS @ 24" O.C.
1/2" GWB.
PAINT
- 11 TYPICAL FOUNDATION WALL
DRAINAGE MATT (BELOW GRADE)
WP. MEMBRANE (BELOW GRADE)
8" CONC. RETAINING WALL
2" R-10 XPS RIGID INSULATION
2X4" STUDS @ 24" O.C.
R-14 BATT INSULATION
6 MIL POLY VB.
1/2" GWB
PAINT
- 12 TYPICAL INTERIOR FRAME WALL
PAINT
1/2" GWB
2X4" WOOD STUDS @ 16" O.C.
(2X6" WOOD STUDS WHERE NOTED)
(ACOUSTIC INSUL. WHERE SHOWN)
1/2" GWB.
PAINT
- 13 TYPICAL INTERIOR FRAME WALL AT GARAGE
PAINT
1/2" GWB
6 MIL POLY VB. (HOUSE SIDE)
2X6" WOOD STUDS @ 24" O.C.
R-24 BATT INSULATION
1/2" GWB.
PAINT
- 14 TYPICAL 1 HR FRR INTERIOR FRAME WALL:
CBC 9.10.3.1.A) W4a
PAINT
5/8" TYPE "X" GWB
2X4" WOOD STUDS @ 16" O.C.
(2X6" WOOD STUDS WHERE NOTED)
3 1/2" BATT INSULATION
RESILIENT METAL CHANNEL (SUITE SIDE)
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 15 TYPICAL 1 HR FRR INTERIOR FRAME WALL #2:
CBC 9.10.3.1.A) W10a ON SEPARATE PLATES
PAINT
2 LAYERS 5/8" TYPE "X" GWB
2X4" WOOD STUDS @ 16" O.C.
3 1/2" BATT INSULATION
2X4" WOOD STUDS @ 16" O.C.
3 1/2" BATT INSULATION
RESILIENT METAL CHANNEL (SUITE SIDE)
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 16 FLAT ROOF
2 PLY TORCH-ON SBS ROOFING
2X4 SLOPED/VENTED STRAPPING
10" STRUCTURAL JOISTS
R-28 BATT INSULATION
6 MIL POLY VB.
1/2" GWB
PAINT
- 17 TYPICAL WOOD FRAMED FLOOR
FLOOR FINISH
3/4" PLYWOOD FLOOR SHEATHING
9 1/2" TJI JOISTS PER STRUCTURAL ENGINEER
R-12 BATT INSULATION
1/2" GWB
PAINT
- 18 TYPICAL GARAGE SLAB
SEALER
4" CONCRETE SLAB
6 MIL POLY VAPOR BARRIER
4" R-20 XPS RIGID INSULATION
MIN 6" GRANULAR FILL
STRUCTURAL FILL OR UNDISTURBED GRADE
- 19 TYPICAL SLAB ON GRADE
FLOOR FINISH
4" CONCRETE SLAB C/W RADIANT HEAT TUBING.
6 MIL POLY VAPOR BARRIER
4" R-20 XPS RIGID INSULATION
MIN 6" GRANULAR FILL
STRUCTURAL FILL OR UNDISTURBED GRADE
- 20 TYPICAL WOOD FRAMED 1 HR FRR FLOOR
CBC 9.10.3.1.A) F9c
FLOOR FINISH
3/4" PLYWOOD FLOOR SHEATHING
9 1/2" TJI JOISTS PER STRUCTURAL ENGINEER
R-28 BATT ACOUSTIC INSULATION
RESILIENT METAL CHANNELS @16" OC
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 21 TYPICAL WOOD FRAMED 1 HR FRR DECK OVER SUITE
CBC 9.10.3.1.A) F9c
PORCELAIN PAVERS ON PEDESTALS
2 PLY TORCH-ON SBS MEMBRANE
3/4" PLYWOOD FLOOR SHEATHING
2X4" TAPERED STRAPPING (VENTED)
9 1/2" TJI JOISTS PER STRUCTURAL ENGINEER
R-28 BATT INSULATION
6 MIL POLY VB.
RESILIENT METAL CHANNELS @16" OC
2 LAYERS 5/8" TYPE "X" GWB
PAINT
- 22 TYPICAL WOOD FRAMED FLOOR OVER MEDIA ROOM
FLOOR FINISH
3/4" PLYWOOD FLOOR SHEATHING
9 1/2" TJI JOISTS PER STRUCTURAL ENGINEER
R-28 BATT ACOUSTIC INSULATION
RESILIENT METAL CHANNELS @16" OC
2 LAYERS 1/2" TYPE GWB
PAINT

NOTE: ALL SEAMS ON THE EXTERIOR HOUSE WRAP MUST BE TAPED TO CREATE AN AIR BARRIER. DRAPE HOUSE WRAP OVER TOP PLATE TO TIE INTO VAPOR BARRIER AT UPPER CEILING.



BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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Revisions

No.	Date	Details	By
0	2022 00 00	PRELIMINARY	



2016 Keith Road West,
North Vancouver, BC V7P 1Z3
Phone: (604)980-4255
Fax: (604)988-4275

Project
**New Home
926 Komarno Court
Coquitlam, B.C.**

Drawing Title
SECTIONS

Date 2022-01	Project No. 2202
Scale 1/4" = 1'-0"	Drawing No. A7
Drawn By B.U./K.G.	
Approved By	



- EXTERIOR MATERIALS & FINISH SCHEDULE:**
- 1 FASCIA: HIPS: 2X6 CEDAR PAINTED. BM 2131-10 BLACK SATIN
 - 2 HORIZONTAL SIDING: HARDIE PLANK LAP SMOOTH SIDING (MITRED CORNERS PREFERRED) IF WITH CORNER TRIM BOARDS PAINT IN MATCHING COLOUR. COLOUR: AGED PEWTER. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 3 STUCCO SIDING: 3/4" 3 COAT SMOOTH FINISHED CEMENTITIOUS STUCCO. COLOUR: BENJAMIN MOORE OC-52 GRAY OWL. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 4 STONE VENEER SIDING: 1 1/2" STONE ON 2 COAT CEMENTITIOUS STUCCO. PROVIDE SAMPLE FOR OWNER'S APPROVAL. STONE: K2 ISLAND MIST OR SIMILAR
 - 5 ROOF SHINGLES: 30 YEAR ASPHALT. IKO CAMBRIDGE CHARCOAL GREY. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 6 WINDOWS: BLACK VINYL OUTSIDE/ WHITE VINYL INSIDE. BALANCED SASH. DOUBLE GLAZED. USI 1.4 OR LOWER. SHGC 0.25 OR HIGHER
 - 7 SOLID DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN
 - 8 FRONT DOOR & SIDELIGHT: STAINED FIR. COLOUR SANSIN SDF LIGHT HONEY 15
 - 9 SLIDING PATIO DOORS: PAINTED FIBREGLASS, INSULATED CORE. R 4.8 OR HIGHER. BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN
 - 10 TIMBER STRUCTURAL BEAMS AND COLUMNS: STAINED. SANSIN NATURALS PROVIDE SAMPLE FOR OWNER'S APPROVAL. COLOUR SDF BLACK KNIGHT 107 (CEDAR CLAD WOOD COLUMNS ABOVE BACK DECK FOR BUILDING PAPER APPLICATION AND WP MEMBRANE UPSTAND AT BASE OF COLUMN)
 - 11 GUTTERS & DOWNPIPES: (SHOWN DASHED.) PREFIN ALUMINUM. KAYCAN STEP FACE PROFILE. COLOUR: GUTTERS: MAYKIN METALS PDVF MATTE BLACK. DOWNPIPES: MAYKIN MEYALS PDVF SLATE GREY
 - 12 DOOR/WINDOW TRIMS: 4" CEDAR JAMB & HEAD CASING, & 2X4" SLOPED SILL PAINTED. COLOUR: BM 2131-10 BLACK SATIN
 - 13 CONCRETE BASE: SEALED
 - 14 1/2" TEMPERED GLASS GUARD & SS STANDOFFS:
 - 15 SOFFIT: 1X4" T&G CEDAR OR HEMLOCK SOFFITTING. STAINED SANSIN NATURALS SDF LIGHT HONEY 15
 - 16 GARAGE DOOR: STEELCRAFT ESTEEM SERIES. CHARCOAL WITH SATIN PRIVACY GLASS
 - 17 FLAT ROOF FASCIA: CAP FLASHING ON 2X4 ON 2X12 BARGE BOARD. PAINTED COLOUR: BM 2131-10 BLACK SATIN
 - 18 PANELLIED SIDING: HARDIE PANEL WITH 1X4" BATTEN. PAINTED. COLOUR BM 2131-10 BLACK SATIN
 - 19 TRIM BOARD: 1X8" WOOD TRIM. PAINTED COLOUR BM 2131-10 BLACK SATIN
 - 20 SKYLIGHT: TEMPERED GLASS IN ANODIZED ALUMINUM FRAMES
 - 21 1/2 GLAZED DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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Revisions

No.	Date	Details	By
0	2022 00 00	PRELIMINARY	



SOUTH ELEVATION EXPOSING BUILDING FACE:

TOTAL BUILDING FACE AREA: 1,061.5 SQ. FT. (98.62 SQ M.)
 LIMITING DISTANCE: 20'10" (6.35 M)
 ALLOWABLE OPENINGS: 34% = 361 FT²
 PROPOSED OPENINGS:

6
12
13.5
13.5
12.5
12.5
70



2016 Keith Road West,
 North Vancouver, BC. V7P 1Z3
 Phone: (604)980-4255
 Fax: (604)988-4275

Project

**New Home
 926 Komarno Court
 Coquitlam, B.C.**

Drawing Title
ELEVATIONS

Date 2022-01	Project No. 2202
-----------------	---------------------

Scale	Drawing No.
-------	-------------

Drawn By
B.U./K.G.

Approved By

A8



1 EAST ELEVATION
Scale: 1/4" = 1'-0"

BUILDING SIZE: ((29.46X11.33)+(13.75X19.5)+(10.2X10.5)+(2.33X19.6)+(2X23.5))/58.71=13.65 FT= 4.16M
 PERIMETER WALL AREA: 686 SQ. FT. = 63.73 M²
 HIGH SIDE THEREFORE: 6.1M = 20' MAX. AVERAGE. 1,001 SQ.FT. MAX. = 93 M²



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

BUILDING SIZE: ((2X20.21)+(2X11.25)+(11.83X23.0)+(5.63X20.79)+(23.29X11.33))/55.96=12.15 FT= 3.7M
 PERIMETER WALL AREA: 443 SQ. FT. = 41.16 M²
 SLOPE AT PROPERTY LINE= (163.44-161.69)/35.75= 5.0% THEREFORE: 6.4M = 21' MAX. AVERAGE. 1,044 SQ.FT. MAX. = 97 M²

- EXTERIOR MATERIALS & FINISH SCHEDULE:**
- 1 FASCIA: HIPPS: 2X6 CEDAR PAINTED. BM 2131-10 BLACK SATIN
 - 2 HORIZONTAL SIDING: HARDIE PLANK LAP SMOOTH SIDING (MITRED CORNERS PREFERRED) IF WITH CORNER TRIM BOARDS PAINT IN MATCHING COLOUR. COLOUR: AGED PEWTER. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 3 STUCCO SIDING: 3/4" 3 COAT SMOOTH FINISHED CEMENTITIOUS STUCCO. COLOUR: BENJAMIN MOORE OC-52 GRAY OWL. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 4 STONE VENEER SIDING: 1 1/2" STONE ON 2 COAT CEMENTITIOUS STUCCO. PROVIDE SAMPLE FOR OWNER'S APPROVAL. STONE: K2 ISLAND MIST OR SIMILAR
 - 5 ROOF SHINGLES: 30 YEAR ASPHALT. IKO CAMBRIDGE CHARCOAL GREY. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 6 WINDOWS: BLACK VINYL OUTSIDE/ WHITE VINYL INSIDE. BALANCED SASH. DOUBLE GLAZED. USI 1.4 OR LOWER. SHGC 0.25 OR HIGHER
 - 7 SOLID DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN
 - 8 FRONT DOOR & SIDELIGHT: STAINED FIR. COLOUR SANSIN SDF LIGHT HONEY 15
 - 9 SLIDING PATIO DOORS: PAINTED FIBREGLASS, INSULATED CORE. R 4.8 OR HIGHER. BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN
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 - 12 DOOR/WINDOW TRIMS: 4" CEDAR JAMB & HEAD CASING, & 2X4" SLOPED SILL PAINTED. COLOUR: BM 2131-10 BLACK SATIN
 - 13 CONCRETE BASE: SEALED
 - 14 1/2" TEMPERED GLASS GUARD & SS STANDOFFS:
 - 15 SOFFIT: 1X4" T&G CEDAR OR HEMLOCK SOFFITTING. STAINED SANSIN NATURALS SDF LIGHT HONEY 15.
 - 16 GARAGE DOOR: STEELCRAFT ESTEEM SERIES. CHARCOAL WITH SATIN PRIVACY GLASS
 - 17 FLAT ROOF FASCIA: CAP FLASHING ON 2X4 ON 2X12 BARGE BOARD. PAINTED COLOUR: BM 2131-10 BLACK SATIN
 - 18 PANELLLED SIDING: HARDIE PANEL WITH 1X4" BATTEN. PAINTED. COLOUR BM 2131-10 BLACK SATIN
 - 19 TRIM BOARD: 1X8" WOOD TRIM. PAINTED COLOUR BM 2131-10 BLACK SATIN
 - 20 SKYLIGHT: TEMPERED GLASS IN ANODIZED ALUMINUM FRAMES
 - 21 1/2 GLAZED DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN

SOUTH ELEVATION EXPOSING BUILDING FACE:

TOTAL BUILDING FACE AREA: 1,061.5 SQ. FT. (98.62 SQ M.)
 LIMITING DISTANCE: 20'10" (6.35 M)
 ALLOWABLE OPENINGS: 34% = 361 FT²
 PROPOSED OPENINGS:

6
12
13.5
13.5
12.5
12.5
70

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

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Revisions

No.	Date	Details	By
0	2022 00 00	PRELIMINARY	



2016 Keith Road West,
 North Vancouver, BC. V7P 1Z3
 Phone: (604)980-4255
 Fax: (604)988-4275

Project

New Home
926 Komarno Court
Coquitlam, B.C.

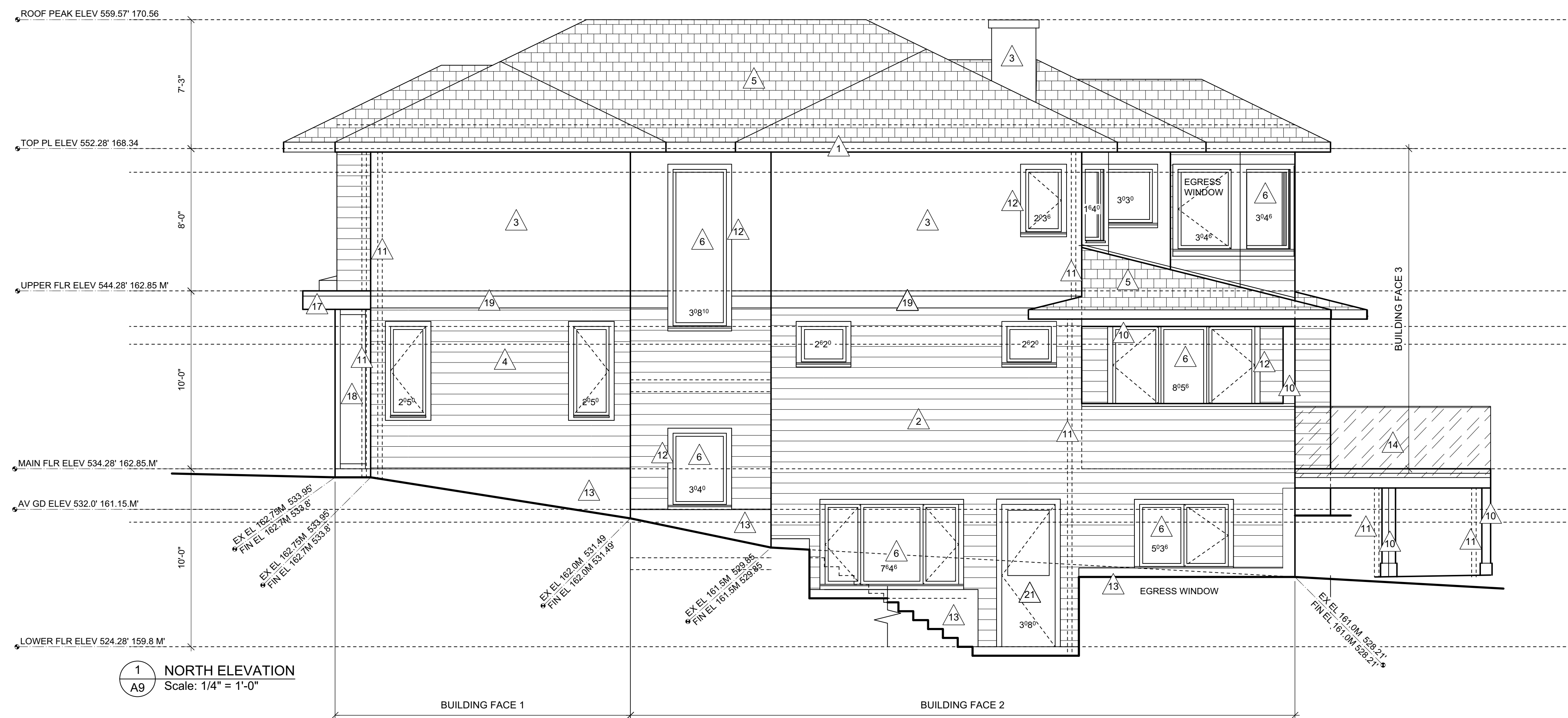
Drawing Title

ELEVATIONS
PERIMETER WALL
HEIGHT AND AREA

Date	Project No.
2022-01	2202
Scale	Drawing No.
Drawn By	A8a
B.U./K.G.	
Approved By	



2 WEST ELEVATION
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"

- EXTERIOR MATERIALS & FINISH SCHEDULE:**
- 1 FASCIA: HIPPS: 2X6 CEDAR PAINTED. BM 2131-10 BLACK SATIN
 - 2 HORIZONTAL SIDING: HARDIE PLANK LAP SMOOTH SIDING (MITRED CORNERS PREFERRED) IF WITH CORNER TRIM BOARDS PAINT IN MATCHING COLOUR. COLOUR: AGED PEWTER. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 3 STUCCO SIDING: 3/4" 3 COAT SMOOTH FINISHED CEMENTITIOUS STUCCO. COLOUR: BENJAMIN MOORE OC-52 GRAY OWL. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 4 STONE VENEER SIDING: 1 1/2" STONE ON 2 COAT CEMENTITIOUS STUCCO. PROVIDE SAMPLE FOR OWNER'S APPROVAL. STONE: K2 ISLAND MIST OR SIMILAR
 - 5 ROOF SHINGLES: 30 YEAR ASPHALT. IKO CAMBRIDGE CHARCOAL GREY. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
 - 6 WINDOWS: BLACK VINYL OUTSIDE/ WHITE VINYL INSIDE. BALANCED SASH. DOUBLE GLAZED. USI 1.4 OR LOWER. SHGC 0.25 OR HIGHER
 - 7 SOLID DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN
 - 8 FRONT DOOR & SIDELIGHT: STAINED FIR. COLOUR SANSIN SDF LIGHT HONEY 15
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 - 11 GUTTERS & DOWNPIPES: (SHOWN DASHED.) PREFIN ALUMINUM. KAYCAN STEP FACE PROFILE. COLOUR: GUTTERS: MAYKIN METALS PDVF MATTE BLACK. DOWNPIPES: MAYKIN MEYALS PDVF SLATE GREY
 - 12 DOOR/WINDOW TRIMS: 4" CEDAR JAMB & HEAD CASING, & 2X4" SLOPED SILL PAINTED. COLOUR: BM 2131-10 BLACK SATIN
 - 13 CONCRETE BASE: SEALED
 - 14 1/2" TEMPERED GLASS GUARD & SS STANDOFFS:
 - 15 SOFFIT: 1X4" T&G CEDAR OR HEMLOCK SOFFITTING. STAINED SANSIN NATURALS SDF LIGHT HONEY 15.
 - 16 GARAGE DOOR: STEELCRAFT ESTEEM SERIES. CHARCOAL WITH SATIN PRIVACY GLASS
 - 17 ELAT ROOF FASCIA: CAP FLASHING ON 2X4 ON 2X12 BARGE BOARD. PAINTED COLOUR: BM 2131-10 BLACK SATIN
 - 18 PANELLIED SIDING: HARDIE PANEL WITH 1X4" BATTEN. PAINTED. COLOUR BM 2131-10 BLACK SATIN
 - 19 TRIM BOARD: 1X8" WOOD TRIM. PAINTED COLOUR BM 2131-10 BLACK SATIN
 - 20 SKYLIGHT: TEMPERED GLASS IN ANODIZED ALUMINUM FRAMES
 - 21 1/2 GLAZED DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN

WEST ELEVATION EXPOSING BUILDING FACE:

TOTAL BUILDING FACE AREA: 1,126 SQ. FT. (104.6 SQ M.)
 LIMITING DISTANCE: 30.625' (9.33 M)
 ALLOWABLE OPENINGS: 35% = 394.1 FT²
 PROPOSED OPENINGS:

27
6
18
13.5
13.5
13.5
128
80
27
11.25
34.5
345.75

NORTH ELEVATION EXPOSING BUILDING FACE:

TOTAL BUILDING FACE AREA: 1,254 SQ. FT. (116.5 SQ M.)
 FACE 1 BUILDING FACE AREA: 321.6 SQ. FT. (29.9 SQ M.)
 LIMITING DISTANCE: 7.79' (2.4 M)
 ALLOWABLE OPENINGS: 8% = 25.7 FT²
 PROPOSED OPENINGS:

10
12
20

FACE 2 BUILDING FACE AREA: 705.6 SQ. FT. (65.6 SQ M.)
 LIMITING DISTANCE: 16.917' (5.15 M)
 ALLOWABLE OPENINGS: 15.5% = 109.4 FT²
 PROPOSED OPENINGS:

26.5
12
7
5
5
34
8.5
98

FACE 3 BUILDING FACE AREA: 235.5 SQ. FT. (21.9 SQ M.)
 LIMITING DISTANCE: 39.75' (12.11 M)
 ALLOWABLE OPENINGS: 55% = 129.5 FT²
 PROPOSED OPENINGS:

44
6
9
13.5
13.5
86

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0	2022 00 00	PRELIMINARY	

LIVING RADIUS
ARCHITECTURE + INTERIOR DESIGN INC.

2016 Keith Road West,
North Vancouver, BC. V7P 1Z3
Phone: (604)980-4255
Fax: (604)988-4275

Project

New Home
926 Komarno Court
Coquitlam, B.C.

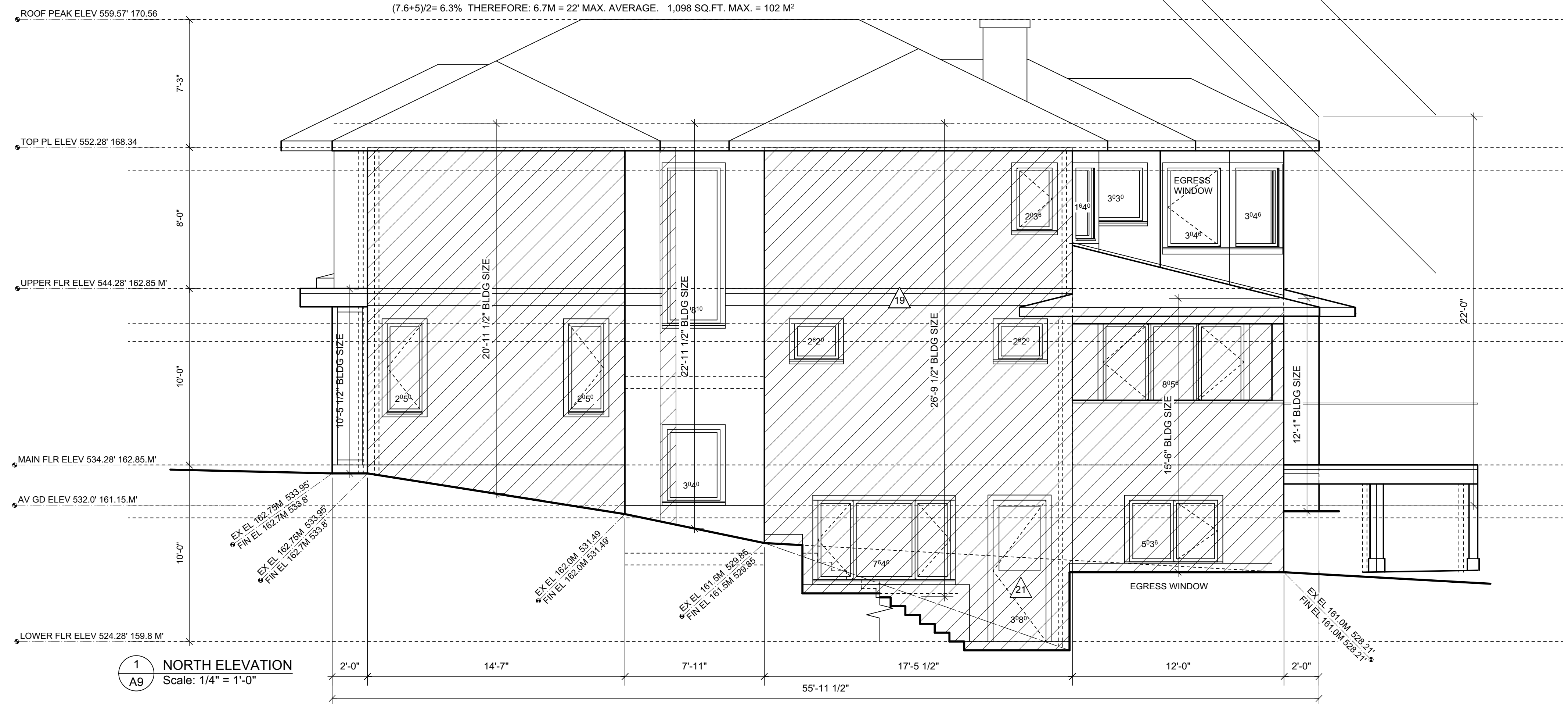
Drawing Title

ELEVATIONS

Date	Project No.
2022-01	2202
Scale	Drawing No.
1/4" = 1'-0"	A9
Drawn By	
B.U./K.G.	
Approved By	



BUILDING SIZE: ((25.5X13.33)+(10X20.04)+(10.7X11.6)+(12.54X12.71))/58.71=14.03 FT= 4.28M
 PERIMETER WALL AREA: 648 SQ. FT. = 60.2 M²
 (7.6+5)2= 6.3% THEREFORE: 6.7M = 22' MAX. AVERAGE. 1,098 SQ.FT. MAX. = 102 M²



BUILDING SIZE: ((2X10.46)+(14.52X20.96)+(7.92X22.96)+(17.46X26.79)+(12X15.5)+(2X12.08))/55.96=21.18 FT= 6.45M
 PERIMETER WALL AREA: 947 SQ. FT. = 87.98 M²
 SLOPE AT PROPERTY LINE= (162.55-159.95)/34.13= 7.6% THEREFORE: 6.7M = 22' MAX. AVERAGE. 1,098 SQ.FT. MAX.

EXTERIOR MATERIALS & FINISH SCHEDULE:

- 1 FASCIA: HIPS: 2X6 CEDAR PAINTED. BM 2131-10 BLACK SATIN
- 2 HORIZONTAL SIDING: HARDIE PLANK LAP SMOOTH SIDING (MITRED CORNERS PREFERRED) IF WITH CORNER TRIM BOARDS PAINT IN MATCHING COLOUR. COLOUR: AGED PEWTER. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
- 3 STUCCO SIDING: 3/4" 3 COAT SMOOTH FINISHED CEMENTITIOUS STUCCO. COLOUR: BENJAMIN MOORE OC-52 GRAY OWL. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
- 4 STONE VENEER SIDING: 1 1/2" STONE ON 2 COAT CEMENTITIOUS STUCCO. PROVIDE SAMPLE FOR OWNER'S APPROVAL. STONE: K2 ISLAND MIST OR SIMILAR
- 5 ROOF SHINGLES: 30 YEAR ASPHALT. IKO CAMBRIDGE CHARCOAL GREY. PROVIDE SAMPLE FOR OWNER'S APPROVAL.
- 6 WINDOWS: BLACK VINYL OUTSIDE/ WHITE VINYL INSIDE. BALANCED SASH. DOUBLE GLAZED. US1 1.4 OR LOWER. SHGC 0.25 OR HIGHER
- 7 SOLID DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN
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- 11 GUTTERS & DOWNPIPES: (SHOWN DASHED.) PREFIN ALUMINUM. KAYCAN STEP FACE PROFILE. COLOUR: GUTTERS: MAYKIN METALS PDVF MATTE BLACK. DOWNPIPES: MAYKIN MEYALS PDVF SLATE GREY
- 12 DOOR/WINDOW TRIMS: 4" CEDAR JAMB & HEAD CASING, & 2X4" SLOPED SILL PAINTED. COLOUR: BM 2131-10 BLACK SATIN
- 13 CONCRETE BASE: SEALED
- 14 1/2" TEMPERED GLASS GUARD & SS STANDOFFS:
- 15 SOFFIT: 1X4" T&G CEDAR OR HEMLOCK SOFFITTING. STAINED SANSIN NATURALS SDF LIGHT HONEY 15.
- 16 GARAGE DOOR: STEELCRAFT ESTEEM SERIES. CHARCOAL WITH SATIN PRIVACY GLASS
- 17 FLAT ROOF FASCIA: CAP FLASHING ON 2X4 ON 2X12 BARGE BOARD. PAINTED COLOUR: BM 2131-10 BLACK SATIN
- 18 PANELLLED SIDING: HARDIE PANEL WITH 1X4" BATTEN. PAINTED. COLOUR BM 2131-10 BLACK SATIN
- 19 TRIM BOARD: 1X8" WOOD TRIM. PAINTED COLOUR BM 2131-10 BLACK SATIN
- 20 SKYLIGHT: TEMPERED GLASS IN ANODIZED ALUMINUM FRAMES
- 21 1/2 GLAZED DOOR: PAINTED FIBERGLASS, INSULATED CORE. R 4.8 OR HIGHER. COLOUR: BENJAMIN MOORE. COLOUR 2131-10 BLACK SATIN

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 LIMITING DISTANCE: 30.625' (9.33 M)
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 PROPOSED OPENINGS:

27
6
18
13.5
13.5
13.5
128
80
27
11.25
345.75

NORTH ELEVATION EXPOSING BUILDING FACE:

TOTAL BUILDING FACE AREA: 1,254 SQ. FT. (116.5 SQ M.)
 FACE 1 BUILDING FACE AREA: 321.6 SQ. FT. (29.9 SQ M.)
 LIMITING DISTANCE: 7.79' (2.4 M)
 ALLOWABLE OPENINGS: 8% = 25.7 FT²
 PROPOSED OPENINGS:

10
12
20

FACE 2 BUILDING FACE AREA: 705.6 SQ. FT. (65.6 SQ M.)
 LIMITING DISTANCE: 16.917' (5.15 M)
 ALLOWABLE OPENINGS: 15.5% = 109.4 FT²
 PROPOSED OPENINGS:

26.5
12
7
5
5
34
8.5
98

FACE 3 BUILDING FACE AREA: 235.5 SQ. FT. (21.9 SQ M.)
 LIMITING DISTANCE: 39.75' (12.11 M)
 ALLOWABLE OPENINGS: 55% = 129.5 FT²
 PROPOSED OPENINGS:

44
6
9
13.5
13.5
86

BUILDER'S RESPONSIBILITY TO LAYOUT WORK

It is the Builder's responsibility to lay out & carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those assumed on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.

Written dimensions shall have precedence over scaled dimensions.

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Revisions

No.	Date	Details	By
0	2022 00 00	PRELIMINARY	



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Project

**New Home
 926 Komarno Court
 Coquitlam, B.C.**

Drawing Title

**ELEVATIONS
 PERIMETER WALL
 HEIGHT AND AREA**

Date	Project No.
2022-01	2202

Scale	Drawing No.
1/4" = 1'-0"	

Drawn By
B.U./K.G.

A9a